

## **D# 39 DESIGN DISTRICT OVERLAY GUIDELINE CLEAN UP**

### **General Description**

The City of Renton Planning Division made this docket item request. This item follows the work that was done as part of Docket #3 with the Urban Design Overlay Districts. In order to provide consistency between the Residential Design Standards code section (4-2-115) and the Urban Design Overlay code section (4-3-100), the Urban Design code is being amended so that the guidelines function as guidelines and no longer express standards.

### **Impact Analysis**

#### Effect on rate of growth, development, and conversion of land as envisioned in the Plan

Not applicable. The proposed changes would not affect the rate of growth or rate of development.

#### Effect on the City's capacity to provide adequate public facilities

Not applicable. There are no anticipated effects on the City's capacity to provide adequate public facilities created by the proposed changes.

#### Effect on the rate of population and employment growth

Not applicable. There are no anticipated effects on the rate of population and employment growth created by the proposed changes.

#### Whether Plan objectives are being met as specified or remain valid and desirable

Not applicable. In instances where guidelines shift to functioning as standards the Land Use Element objective which calls for the promotion of development that creates communities that are visually attractive, safe, and healthy places to live is applicable. Additional standards will work to ensure that new development is visually attractive with elements contributing to the pedestrian environment and encourages development that provides a safe and healthy place to live, work, shop, or visit.

#### Effect on general land values or housing costs

Not applicable. There are no anticipated effects on general land values or housing costs created by the proposed changes.

#### Whether capital improvements or expenditures are being made or completed as expected

Not applicable.

#### Consistency with GMA and Countywide Planning Policies

Not applicable. The proposed changes do not have any bearing on the Growth Management Act (GMA) and Countywide Planning Policies.

#### Effect on critical areas and natural resource lands

Not applicable. The proposed changes would not have any effects on critical areas and/or natural resource lands.

### Effect on other considerations

Not applicable.

### **Staff Recommendation**

Staff recommends amendments as shown in attachment A.

The shifting of some guidelines to standards, in general, helps to clarify the standards that are already in place. There are several standards that will be more easily understood with the language of the guidelines shifted to the standards. For example, in the Building Entries section, there is an existing standard that requires weather protection be provided over all entries from a street. A guideline in this same section calls for clearly marking building entries with items like canopies, ornamental lighting, etc. By combining the standard with the guideline so that the revised standard calls for building entries to be clearly marked with elements such as canopies, ornamental lighting and that provides weather protection, the revised standard is more clear in its intent and function.

There are other areas where the shifting of guidelines to standards will place new requirements on development. An example of one of these is in the Building Location and Orientation section. The guideline suggested that availability of natural light and sun exposure be considered when buildings are sited. This will now be required. Structures will be sited to ensure availability of natural light and sun exposure to nearby buildings and open space. This will help the other requirements that are already in place in other sections, such as the provision of open space. Open space that is dark and cold will not be a strong enhancement to a development and is not as likely to attract pedestrians or encourage pedestrians to linger.

**1. Site Design and Building Location**

Intent: To ensure that buildings are located in relation to streets and other buildings so that the Vision of the City of Renton can be realized for a high-density urban environment; so that businesses enjoy visibility from public rights-of-way; and to encourage pedestrian activity.

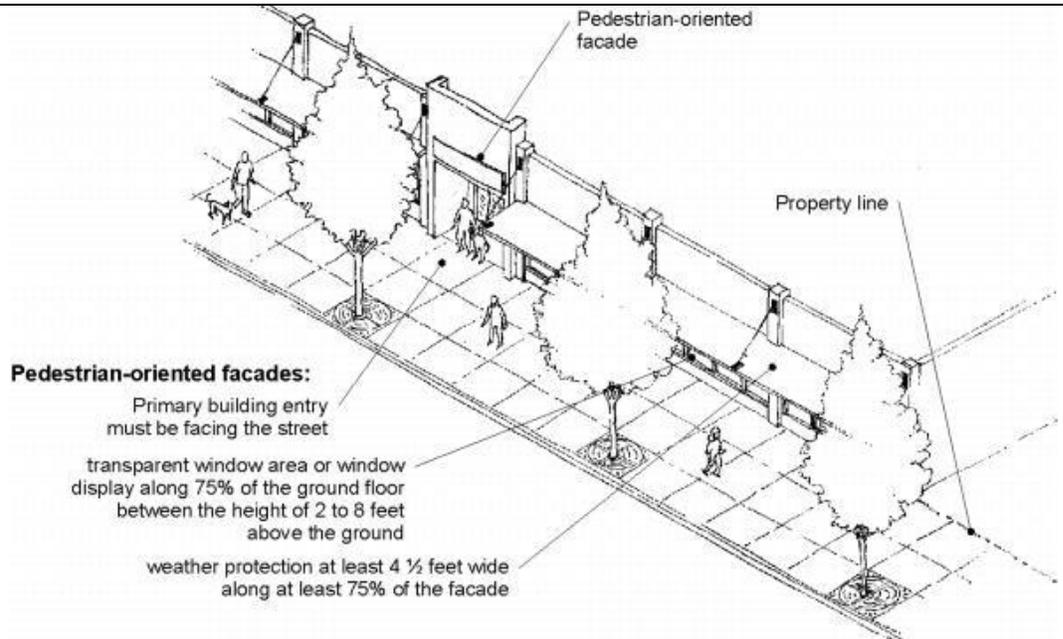
**BUILDING LOCATION AND ORIENTATION**

**Intent:** To ensure visibility of businesses and to establish active, lively uses along sidewalks and pedestrian pathways. To organize buildings for pedestrian use and so that natural light is available to other structures and open space. To ensure an appropriate transition between buildings, parking areas, and other land uses; and increase privacy for residential uses.

**Guidelines:** ~~Developments shall amplify the mutual relationship of the buildings with each other, as well as with the roads, open space, and pedestrian amenities while working to create a pedestrian oriented environment. Lots shall be configured to encourage variety and also so that natural light is available to buildings and open space. The privacy of individuals in residential uses shall be provided for. Siting of a structure should take into consideration the availability of natural light (both direct and reflected) and direct sun exposure to nearby buildings and open space (except parking areas). Ground floor residential uses located near the street should be raised above street level for residents' privacy.~~

**Standards:**

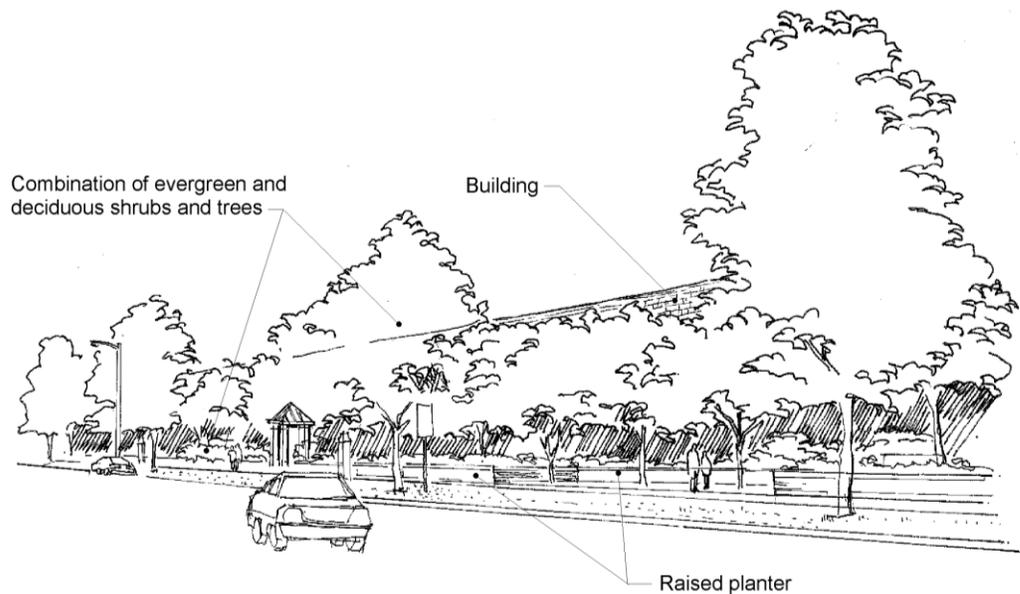
<p>Districts A, B, and D</p>	<p><del>Both-All</del> of the following are required:</p> <ol style="list-style-type: none"> <li>1. Buildings shall be oriented to the street with clear connections to the sidewalk.</li> <li>2. The front entry of a building shall be oriented to the street or a landscaped pedestrian-only courtyard.</li> <li>3. <u>Structures shall be sited to ensure the availability of natural light (both direct and reflected) and direct sun exposure to nearby buildings and open space (except parking areas).</u></li> <li>4. <u>Buildings with residential uses located at the street level shall be:</u> <ol style="list-style-type: none"> <li>a. <u>Set back from the sidewalk a minimum of ten feet (10') and feature substantial landscaping between the sidewalk and the building (illustration below). Or,</u></li> <li><del>2-b.</del> <u>Have the ground floor residential uses raised above street level for residents' privacy.</u></li> </ol> </li> </ol>
<p>District C</p>	<p>All of the following are required:</p> <ol style="list-style-type: none"> <li>1. <u>Structures shall be sited to ensure the availability of natural light (both direct and reflected) and direct sun exposure to nearby buildings and open space (except parking areas).</u></li> <li>2. <u>Parking between the building and the street is prohibited.</u></li> <li>3. <u>Commercial and Mixed-use Buildings:</u> shall contain pedestrian-oriented uses, feature "pedestrian-oriented facades", and have clear connections to the sidewalk (illustration below).</li> </ol>



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4. Office buildings: shall have pedestrian oriented facades.

- a. The Department may allow in limited circumstances do not feature pedestrian-oriented facades to not feature a pedestrian orientation, if so they shall have substantial landscaping between the sidewalk and building. Such landscaping shall be at least ten feet (10') in width as measured from the sidewalk (illustration below).

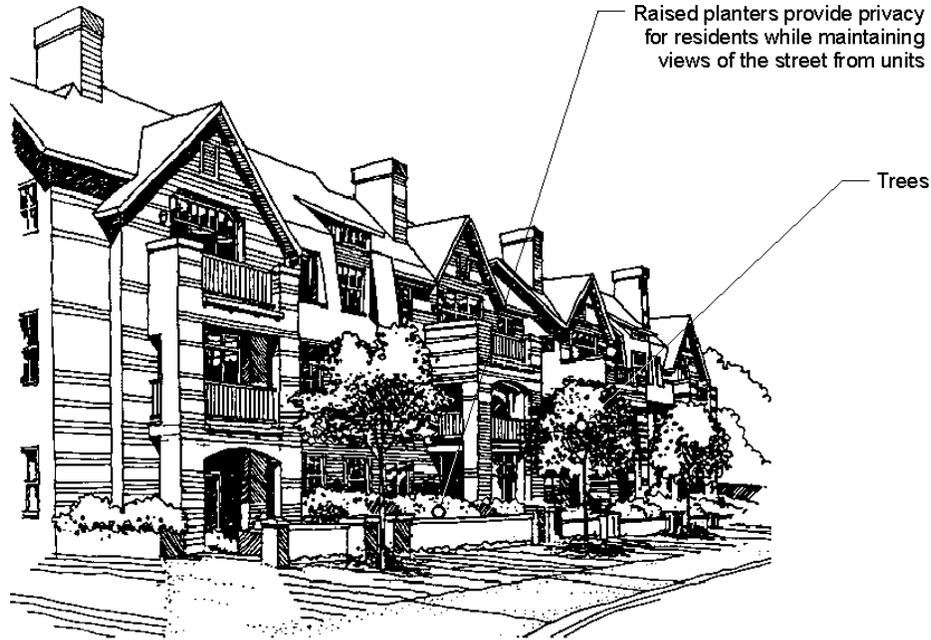


4. Buildings shall be located abutting the sidewalk, except where pedestrian oriented space is located between the building and the sidewalk.

5. Residential and Mixed-Use Buildings: buildings containing street-level residential uses and single-purpose residential buildings shall be:

- a. Set back from the sidewalk a minimum of ten feet (10') and feature substantial

landscaping between the sidewalk and the building (illustration below). Or, 1-b. Have the ground floor residential uses raised above street level for residents' privacy.



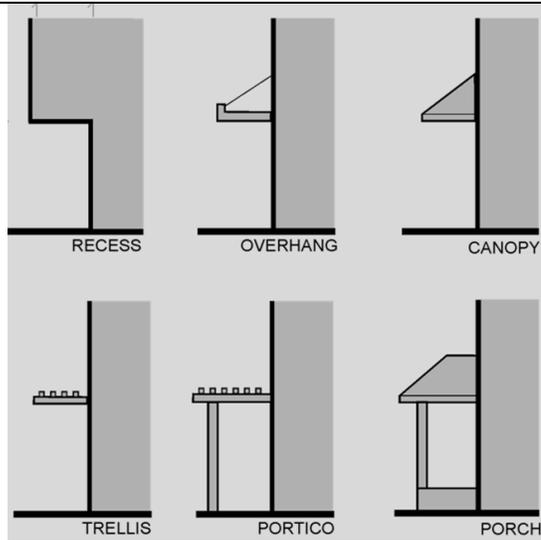
**BUILDING ENTRIES**

**Intent:** To make building entrances convenient to locate and easy to access, and ensure that building entries further the pedestrian nature of the fronting sidewalk and the urban character of the district.

**Guidelines:** ~~Multiple buildings on the same site should provide a network of pedestrian paths for access within the site and access to the site from the surrounding area. For projects that include residential uses, entries and/or front yards should provide transition space between the street and the residence. Ground floor units should be directly accessible from the street or an open space. Features such as entries, lobbies, and display windows should be oriented to a street or pedestrian-oriented space; otherwise, screening or decorative features should be incorporated. Entries from the street should be clearly marked with canopies, architectural elements, ornamental lighting, or landscaping. Secondary access (not fronting on a street) should be subordinate to those related to the street and have weather protection. Primary entries shall face the street, serve as a focal point, and allow space for social interaction. All entries shall include features that make them easily identifiable while reflecting the architectural character of the building. Primary entries shall be the most visually prominent entry. Pedestrian access to the building from the sidewalk, parking lots and/or, other areas shall be provided and shall enhance the overall quality of the pedestrian experience on the site.~~

**Standards:**

<p>All Districts A, B, and D</p>	<p>All of the following are required:</p> <ol style="list-style-type: none"> <li>1. <u>A</u>The primary entrance of each building shall be:             <ol style="list-style-type: none"> <li>a. located on the facade facing a street, <u>shall be visually</u> prominent, visible from the street, connected by a walkway to the public sidewalk, and include human-scale elements; <u>and</u></li> <li>b. made visibly prominent by incorporating architectural features such as a facade overhang, trellis, large entry doors, and/or ornamental lighting (illustration below).</li> </ol> </li> </ol>
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2. Building entries from a street: shall be clearly marked with canopies, architectural elements, ornamental lighting, or landscaping and include weather protection at least four and one-half feet (4½') wide (illustration below). Buildings that are taller than thirty feet (30') in height shall also ensure that the weather protection is proportional to the distance above ground level.



3. Building entries from a parking lot: shall be subordinate to those related to the street.  
2.

4. Features such as entries, lobbies, and display windows shall be oriented to a street or pedestrian-oriented space; otherwise, screening or decorative features should be incorporated.

5. Multiple buildings on the same site shall direct views to building entries by providing a continuous network of pedestrian paths and open spaces that incorporate landscaping to provide a directed view to building entries.

6. Projects with ground floor residential units that are directly accessible from the street: shall include

a. Entries from front yards to provide transition space from the street, or

~~a-b.~~ Entries from an open space such as a courtyard or garden that is accessible from the street.

District  
C

All of the following are required:

3. The primary entrance of each building shall be located on the facade facing the street.

	<p><del>4. On non-pedestrian-oriented streets, entrances shall be prominent, visible from surrounding streets, connected by a walkway to the public sidewalk, and include human-scale elements.</del></p> <p><del>5. All building entries abutting to a street shall be clearly marked with canopies, architectural elements, ornamental lighting, and/or landscaping (illustration below). Entries from parking lots should be subordinate to those related to the street.</del></p> <p><del>6. Weather protection at least four and one-half feet (4½') wide shall be provided over the primary entry of all buildings and over any entry abutting a street. Buildings that are taller than thirty feet (30') in height shall also ensure that the weather protection is proportional to the distance above ground level.</del></p> <p><del>7.4. Pedestrian pathways from public sidewalks to primary entrances or from parking lots to primary entrances shall be clearly delineated.</del></p>
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**TRANSITION TO SURROUNDING DEVELOPMENT**

**Intent:** To shape redevelopment projects so that the character and value of Renton’s long-established, existing neighborhoods are preserved.

**Guidelines:** Careful siting and design treatment shall ~~be~~ used to achieve a compatible transition where new buildings differ from surrounding development in terms of building height, bulk and scale.

**Standards:**

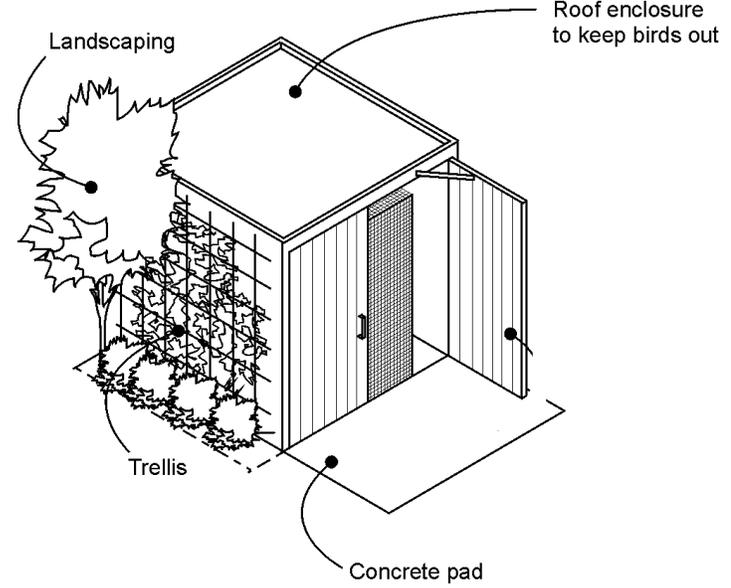
Districts A, B, and D	<p>At least one of the following design elements shall be used to promote a transition to surrounding uses:</p> <ol style="list-style-type: none"> <li>1. Setbacks at the side or rear of a building may be increased by the Reviewing Official in order to reduce the bulk and scale of larger buildings and/or so that sunlight reaches adjacent and/or abutting yards; or</li> <li>2. Building proportions, including step-backs on upper levels in accordance with the surrounding planned and existing land use forms; or</li> <li>3. Building articulation to divide a larger architectural element into smaller increments; or</li> <li>4. Roof lines, roof pitches, and roof shapes designed to reduce apparent bulk and transition with existing development.</li> </ol>
District C	<p>Both of the following are required:</p> <ol style="list-style-type: none"> <li>1. For properties along North 6th Street and Logan Avenue North (between North 4th Street and North 6th Street), applicants shall demonstrate how their project provides an appropriate transition to the long-established, existing residential neighborhood south of North 6th Street known as the North Renton Neighborhood.</li> <li>2. For properties located south of North 8th Street, east of Garden Avenue North, applicants must demonstrate how their project appropriately provides transitions to existing industrial uses.</li> </ol>

**SERVICE ELEMENT LOCATION AND DESIGN**

**Intent:** To reduce the potential negative impacts of service elements (i.e., waste receptacles, loading docks) by locating service and loading areas away from pedestrian areas, and screening them from view in high visibility areas.

**Guidelines:** ~~Service elements shall be concentrated and located so that impacts to pedestrians and other abutting uses are minimized. The visual impacts of service elements shall be mitigated with landscaping and with fencing that is made of quality materials. Any garbage, recycling, and/or utility areas shall be enclosed on all sides and roofed. Service enclosure fences should be made of masonry, ornamental metal or wood, or some combination of the three (3).~~

**Standards:**

<p>All Districts</p>	<p>All of the following are required:</p> <ol style="list-style-type: none"> <li>1. Service elements shall be located and designed to minimize the impacts on the pedestrian environment and adjacent and/or abutting uses. Service elements shall be concentrated and located where they are accessible to service vehicles and convenient for tenant use. <a href="#">(illustration below)</a>.</li> <li>2. In addition to standard enclosure requirements, garbage, recycling collection, and utility areas shall be enclosed on all sides, <del>including include the a</del> roof and <del>be</del> screened around their perimeter by a wall or fence and have self-closing doors (illustration below).</li> </ol>  <ol style="list-style-type: none"> <li>3. <a href="#">Service enclosure fences shall be made of masonry, ornamental metal or wood, or some combination of the three (3). The use of chain link, plastic, or wire fencing is prohibited.</a></li> <li>4. If the service area is adjacent to a street, pathway, or pedestrian-oriented space, a landscaped planting strip, minimum three feet (3') wide, shall be located on three (3) sides of such facility.</li> </ol>
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**GATEWAYS**

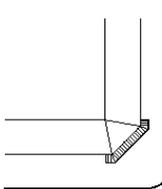
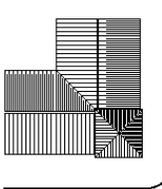
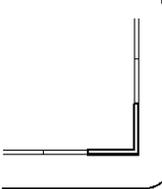
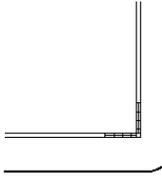
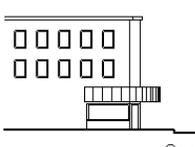
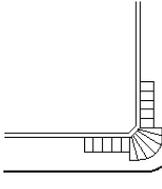
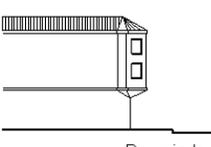
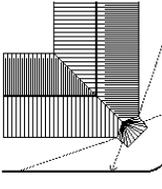
**Intent:** To distinguish gateways as primary entrances to districts or to the City, special design features and architectural elements at gateways should be provided. While gateways should be distinctive within the context of the district, they should also be compatible with the district in form and scale.

**Guidelines:** Development that occurs at gateways ~~should~~ [shall](#) be distinguished with features that visually indicate to both pedestrians and vehicular traffic the uniqueness and prominence of their locations in the City. Examples of these types of features include monuments, public art, and public plazas.

**Standards:**

<p>District C and D</p>	<p>All of the following are required:</p> <ol style="list-style-type: none"> <li>1. Developments located at district gateways shall be marked with visually prominent features (illustration below).</li> </ol>
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Attachment A

 <p>Balconies</p> 	 <p>Turret</p> 	 <p>Corner accentuating roof line</p> 	<p><b>Elevation</b></p> <p><b>Plan</b></p> <p><b>Note: Ensure that building does not block clear vision area at intersections.</b></p>
 <p>Distinctive use of materials</p> 	 <p>Canopy</p> 	 <p>Bay window</p> 	<p><b>Elevation</b></p> <p><b>Plan</b></p>

2. Gateway elements shall be oriented toward and scaled for both pedestrians and vehicles (illustration below).



3. Visual prominence shall be distinguished by two (2) or more of the following:

- a. Public art;
- b. Special landscape treatment;
- c. Open space/plaza;

	<ul style="list-style-type: none"> <li>d. Landmark building form;</li> <li>e. Special paving, unique pedestrian scale lighting, or bollards;</li> <li>f. Prominent architectural features (trellis, arbor, pergola, or gazebo);</li> <li>g. Neighborhood or district entry identification (commercial signs do not qualify).</li> </ul>
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**2. Parking and Vehicular Access:**

Intent: To provide safe, convenient access; incorporate various modes of transportation, including public transit, in order to reduce traffic volumes and other impacts from vehicles; ensure sufficient parking is provided, while encouraging creativity in reducing the impacts of parking areas; allow an active pedestrian environment by maintaining contiguous street frontages, without parking lot siting along sidewalks and building facades; minimize the visual impact of parking lots; and use access streets and parking to maintain an urban edge to the district.

**SURFACE PARKING**  
**Intent:** To maintain active pedestrian environments along streets by placing parking lots primarily in back of buildings.

**Guidelines:** ~~Parking lots should be located on the interior portions of blocks and screened from the surrounding roadways by buildings, landscaping, and/or gateway features as dictated by location. A limited number of parking spaces may be allowable in front of a building provided they are for passenger drop-off and pick-up and they are parallel to the building facade.~~ Surface parking shall be located and designed so that the visual impact of the parking area and associated vehicles is minimized. Large areas of surface parking shall also be designed to accommodate future infill development.

**Standards:**

	<p><del>Both of t</del>The following <del>is</del><u>are</u> required:</p> <ol style="list-style-type: none"> <li>1. Parking shall be located so that no surface parking is located between a building and the front property line, or the building and side property line, on the street side of a corner lot.</li> <li><del>1-2.</del> <u>2. Parking shall be located so that it is screened from the surrounding roadways by buildings, landscaping, and/or gateway features as dictated by location.</u></li> </ol>
District A, B, and D	<p><del>All</del><u>Both</u> of the following are required:</p> <ol style="list-style-type: none"> <li>1. Parking shall be at the side and/or rear of a building. However, if due to the constraints of the site, parking cannot be provided at the side or rear of the building, the Reviewing Official may allow parking to occur between the building and the street. <ul style="list-style-type: none"> <li><u>a.</u> If parking is allowed to occur between the building and the street, no more than sixty feet (60') of the street frontage measured parallel to the curb shall be occupied by off-street parking and vehicular access.</li> </ul> </li> <li><del>2-3.</del> <u>3. Parking shall be located screened from the surrounding roadways by buildings, landscaping, and/or gateway features as dictated by location.</u></li> <li><del>2-3.</del> <u>3. Surface parking lots shall be designed to facilitate future structured parking and/or other infill development. For example, provision of a parking lot with a minimum dimension on one side of two hundred feet (200') and one thousand five hundred foot (1,500') maximum perimeter area. Exception: If there are size constraints inherent in the original parcel.</u></li> </ol>

**STRUCTURED PARKING GARAGES**  
**Intent:** To more efficiently use land needed for vehicle parking; encourage the use of structured parking; physically and visually integrate parking garages with other uses; and reduce the overall impact of parking garages.

**Guidelines:** Parking garages shall not dominate the streetscape, they shall be designed to be complementary

~~with adjacent and abutting buildings and sited to complement, not subordinate, pedestrian entries should. Parking garage entries shall be minimized and feature architectural detailing similar to rest of the building. not dominate the streetscape. They should be designed to be complementary with adjacent and abutting buildings and sited to complement, not subordinate, the pedestrian entry. Similar forms, materials, and/or details to the primary building(s) should shall be used to enhance garages. The parking entry should be located away from the primary street, to either the side or rear of the building. Parking within the building should be enclosed or screened.~~

**Standards:**

All of the following are required:

1. Parking structures shall provide space for ground floor commercial uses along street frontages at a minimum of seventy five percent (75%) of the building frontage width (illustration below).



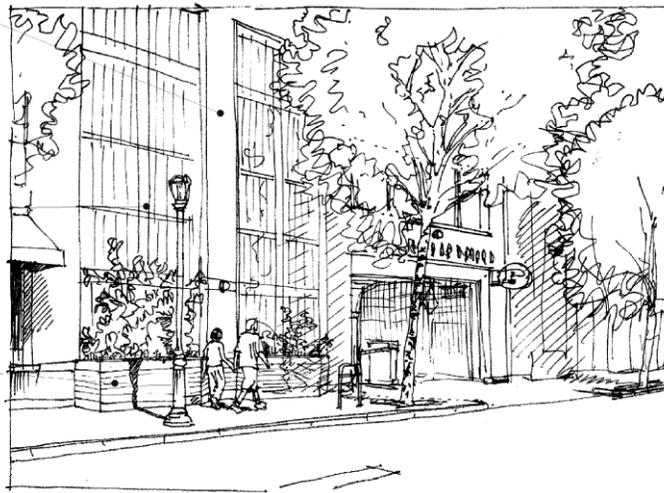
2. The entire public facing facade must shall feature a be pedestrian-oriented facade.
  - a) The Department may approve parking structures that are not pedestrian oriented in limited circumstances. If allowed, they shall be set back at least six feet (6') from the sidewalk and feature substantial landscaping. This landscaping shall include a combination of evergreen and deciduous trees, shrubs, and ground cover. This setback shall be increased to ten feet (10') when abutting high visibility streets.
- 2.3. Public facing facades shall be articulated, and vehicular entrances to nonresidential or mixed use parking structures shall be be articulated by arches, lintels, masonry trim, or other architectural elements and/or materials (illustration below).

District C  
and D

Articulation of facade components to reduce scale and add visual interest

Decorative trellis structure for vines

Raised planting bed adjacent to sidewalk



~~3. Parking structures not featuring a pedestrian-oriented facade shall be set back at least six feet (6') from the sidewalk and feature substantial landscaping. This landscaping shall include a combination of evergreen and deciduous trees, shrubs, and ground cover. This setback shall be increased to ten feet (10') when abutting high visibility streets.~~

~~4. The entry to the parking garage shall be located away from the primary street, to either the side or rear of the building.~~

~~5. Parking within the building shall be enclosed or screened.~~

4-6. The Director may allow a reduced setback where the applicant can successfully demonstrate that the landscaped area and/or other design treatment meets the intent of these standards and guidelines. Possible treatments to reduce the setback include landscaping components plus one or more of the following integrated with the architectural design of the building:

- a. Ornamental grillwork (other than vertical bars);
- b. Decorative artwork;
- c. Display windows;
- d. Brick, tile, or stone;
- e. Pre-cast decorative panels;
- f. Vine-covered trellis;
- g. Raised landscaping beds with decorative materials; or
- h. Other treatments that meet the intent of this standard.

## VEHICULAR ACCESS

**Intent:** To maintain a contiguous and uninterrupted sidewalk by minimizing, consolidating, and/or eliminating vehicular access off streets.

**Guidelines:** ~~Parking lots and garages should be accessed from alleys or side streets and when accessed from a street, pedestrian circulation along the sidewalk should not be impeded. Driveways should be located to be visible from the right-of-way, but not impede pedestrian circulation. Where possible, the number of driveways and curb cuts should be minimized. Access to parking garages and parking lots shall not occur at the front of the property/building. Sidewalks are for pedestrian access, and vehicular access shall not impede pedestrian circulation. The impacts of curb cuts to pedestrian access on sidewalks shall be minimized.~~

### Standards:

District B

The following is required:

- ~~1. Parking lots and garages~~ Access to parking lots and garages: shall be accessed from alleys,

	<p>when available. <u>If not available, access shall occur at side streets.</u></p> <p><u>2. Pedestrian circulation along the sidewalk shall not be impeded by driveway, parking lot and/or parking garage access.</u></p> <p><u>1-3. The number of driveways and curb cuts shall be minimized.</u></p>
District C	<p>Both of the following are required:</p> <p><u>1. Parking garages shall be accessed at the rear of buildings.</u></p> <p><u>1-2. Pedestrian circulation along the sidewalk shall not be impeded by driveway, parking lot and/or parking garage access.</u></p> <p><u>2-3. Parking lot entrances, driveways, and other vehicular access points shall be restricted to one entrance and exit lane per five hundred (500) linear feet as measured horizontally along the street.</u></p>

**4-6. Pedestrian Environment**

Intent: To enhance the urban character of development by creating pedestrian networks and by providing strong links from streets and drives to building entrances; make the pedestrian environment safer and more convenient, comfortable, and pleasant to walk between businesses, on sidewalks, to and from access points, and through parking lots; and promote the use of multi-modal and public transportation systems in order to reduce other vehicular traffic.

**PATHWAYS THROUGH PARKING LOTS**

~~Intent: To provide safe and attractive pedestrian connections to buildings, parking garages, and parking lots.~~

~~Guidelines: Pedestrians should be provided with clearly delineated safe routes for travel from their vehicle and/or the surrounding area to the building.~~

**Standards:**

Districts C and D	<p>Both of the following are required:</p> <p><u>1. Clearly delineated pedestrian pathways (i.e. raised walkway, stamped concrete, or pavers) and/or private streets shall be provided throughout parking areas.</u></p> <p><u>2. The pathways shall be perpendicular to the applicable building facade and no greater than one hundred and fifty feet (150') apart.</u></p>
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**PEDESTRIAN CIRCULATION:**

Intent: To create a network of linkages for pedestrians to improve safety and convenience and enhance the pedestrian environment.

~~Guidelines: Pathways should be provided and should be delineated by material treatment such as texture, color treatment, and/or stamped. Mid-block connections are desirable. Between buildings and between streets through block connections should be made. The pedestrian environment shall be given priority and importance in the design of projects. Sidewalks and/or pathways shall be provided and shall provide safe access to buildings from parking areas and other abutting uses. Pathways shall be easily identifiable to pedestrians and drivers.~~

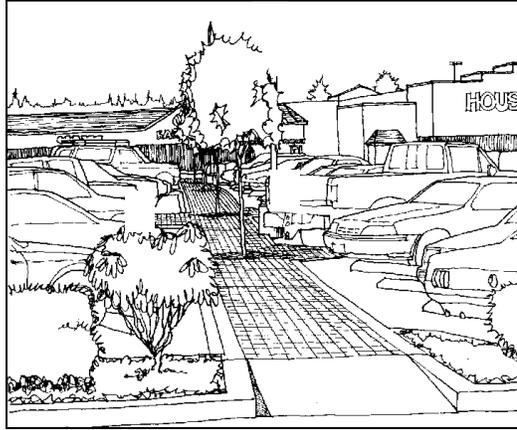
**Standards:**

District A, C, and D	<p>All of the following are required:</p> <p><u>1. Pedestrian circulation that is clearly delineated shall be provided.</u></p> <p><u>2. The pedestrian circulation system shall connect buildings, open space, and parking areas with the sidewalk system and abutting properties.</u></p> <p><u>3. Pathways shall be located so that there are clear sight lines, to increase safety.</u></p> <p><u>4. Pathways shall be an all-weather walking surface, unless the applicant can demonstrate that the proposed surface is appropriate for the anticipated number of users and complementary to the design of the development.</u></p>
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5. Mid-block connections between buildings shall be provided.

6. Pathways within parking areas:

a) Pedestrian pathways within parking lots or parking modules shall be provided and differentiated by material or texture (i.e. raised walkway, stamped concrete, or pavers) from abutting paving materials (illustration below).



b) The pathways shall be perpendicular to the applicable building facade and no greater than one hundred and fifty feet (150') apart.

- 1. Developments shall include an integrated pedestrian circulation system that connects buildings, open space, and parking areas with the sidewalk system and abutting properties.
- 2. Pathways shall be located so that there are clear sight lines, to increase safety.
- 3. Sidewalks located between buildings and streets shall be raised above the level of vehicular travel.

4.7. Sidewalks and pathways along the facades of buildings: shall be of sufficient width to accommodate anticipated numbers of users. Specifically:

- a. Sidewalks and pathways along the facades of mixed use and retail buildings one hundred (100) or more feet in width (measured along the facade) shall provide sidewalks at least twelve feet (12') in width. The walkway shall include an eight foot (8') minimum unobstructed walking surface.
- b. Interior pathways shall be provided and shall vary in width to establish a hierarchy. The widths shall be based on the intended number of users; to be no smaller than five feet (5') and no greater than twelve feet (12').

5.8. All pedestrian walkways shall provide an all-weather walking surface unless the applicant can demonstrate that the proposed surface is appropriate for the anticipated number of users and complementary to the design of the development.

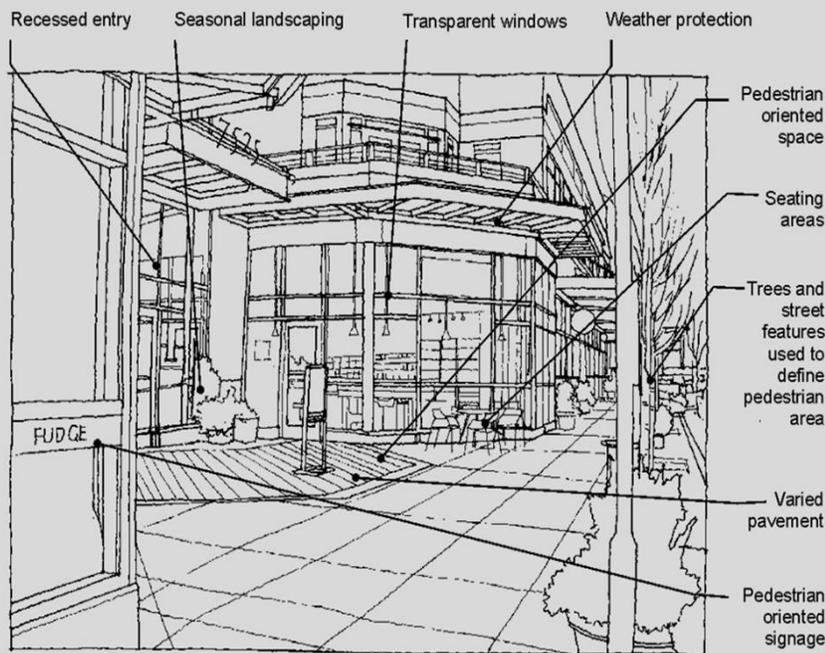
## PEDESTRIAN AMENITIES

**Intent:** To create attractive spaces that unify the building and street environments and are inviting and comfortable for pedestrians; and provide publicly accessible areas that function for a variety of activities, at all times of the year, and under typical seasonal weather conditions

**Guidelines:** Amenities such as outdoor group seating, kiosks, fountains, and public art should be provided. Amenities such as transit shelters, benches, trash receptacles, and street furniture should also be provided. Architectural elements that incorporate plants, particularly at building entrances, in publicly accessible spaces, and at facades along streets should be included (illustration below). The pedestrian environment

Attachment A

shall be given priority and importance in the design of projects. Amenities that encourage pedestrian use and increase the pedestrian experience shall be included.



**Standards:**

<p>District B</p>	<p><del>Both</del> All of the following are required:</p> <ol style="list-style-type: none"> <li><u>1. Amenities such as outdoor group seating, benches, transit shelters, fountains, and public art shall be provided.</u></li> <li><u>2. Architectural elements that incorporate plants, particularly at building entrances, in publicly accessible spaces, and at facades along streets shall be included.</u></li> </ol> <p><del>1-3.</del> Site furniture shall be provided and shall be made of durable, vandal- and weather-resistant materials that do not retain rainwater and can be reasonably maintained over an extended period of time.</p> <p><del>2-4.</del> Site furniture and amenities shall not impede or block pedestrian access to public spaces or building entrances.</p>
<p>District C and D</p>	<p>All of the following are required:</p> <ol style="list-style-type: none"> <li><u>1. Amenities such as outdoor group seating, benches, transit shelters, fountains, and public art shall be provided.</u></li> <li><u>1-2. Architectural elements that incorporate plants, particularly at building entrances, in publicly accessible spaces, and at facades along streets shall be included.</u></li> <li><del>2-3.</del> Site furniture shall be provided and shall be made of durable, vandal- and weather-resistant materials that do not retain rainwater and can be reasonably maintained over an extended period of time.</li> <li><del>3-4.</del> Site furniture and amenities shall not impede or block pedestrian access to public spaces or building entrances.</li> <li><del>4-5.</del> Pedestrian overhead weather protection in the form of awnings, marquees, canopies, or building overhangs shall be provided. These elements shall be a minimum of four and one-half feet (4-1/2') wide along at least seventy five percent (75%) of the length of the building facade facing the street, a maximum height of fifteen feet (15') above the ground elevation, and no lower than eight feet (8') above ground level.</li> </ol>

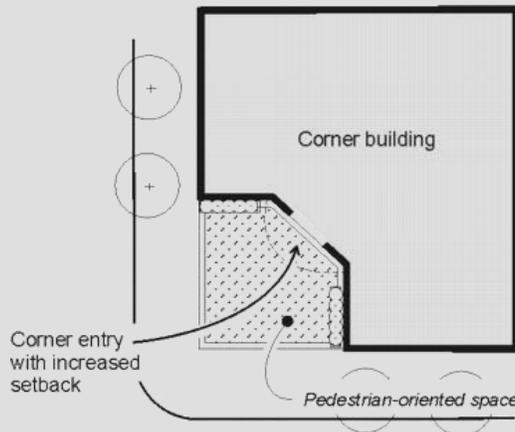
**5.7. Recreation Areas and Common Open Space**

Intent: To have areas suitable for both passive and active recreation by residents, workers, and visitors; provide these areas in sufficient amounts and in safe and convenient locations; and provide the opportunity for community gathering in places centrally located and designed to encourage such activity.

**RECREATION AREAS AND COMMON OPEN SPACE:**

**Intent:** To ensure that areas for both passive and active recreation are made available to residents, workers, and visitors and that these areas are of sufficient size for the intended activity and in convenient locations. To create usable and inviting open space that is accessible to the public; and to promote pedestrian activity on streets particularly at street corners.

**Guidelines:** ~~Common space should be located to take advantage of surrounding features such as significant landscaping, unique topography or architecture, and solar exposure.~~ Developments located at street intersections corners should provide pedestrian-oriented space at the street corner to emphasize pedestrian activity (illustration below). ~~For projects that include residential, common space and children's play areas should be centrally located near a majority of dwelling units and visible from surrounding units. Play areas should also be away from hazardous areas like garbage dumpsters, drainage facilities, streets, and parking areas. Recreation and common open space areas are integral aspects of quality development that encourages pedestrians and users. These areas shall be provided in an adequate amount to be functional and usable; they shall also be landscaped and located so that they are appealing to users and pedestrians.~~



**Standards:**

Both of the following are required:

1. All mixed use residential and attached housing developments of ten (10) or more dwelling units shall provide common opens space and/or recreation areas.
  - a. Amount to be provided: at minimum fifty (50) square feet per unit.
  - b. The location, layout, and proposed type of common space or recreation area shall be subject to approval by the Director.
  - c. Open space or recreation areas shall be located to provide sun and light exposure to the area and located so that they are aggregated to provide usable area(s) for residents.
  - d. ~~Open space or recreation area required elements.~~ At least one of the following shall be provided in each open space and/or recreation area (the Director may require more than one of the following elements for developments having more than one hundred (100) units).
    - i. Courtyards, plazas, or multi-purpose open spaces;
    - ii. Upper level common decks, patios, terraces, or roof gardens/pea-patches. Such

District  
A, C, and  
D

- spaces above the street level must feature views or amenities that are unique to the site and are provided as an asset to the development;
- iii. Pedestrian corridors dedicated to passive recreation and separate from the public street system;
- iv. Recreation facilities including, but not limited to, tennis/sports courts, swimming pools, exercise areas, game rooms, or other similar facilities; or
- v. Children's play spaces.

~~v.1.~~ Children's play areas shall be centrally located near a majority of dwelling units and visible from surrounding units. They shall also be located away from hazardous areas like garbage dumpsters, drainage facilities, streets, and parking areas.

- e. The following shall not be counted toward the common open space or recreation area requirement:
  - i. Required landscaping, driveways, parking, or other vehicular use areas, ~~and~~
  - ii. Required yard setback areas. Except for areas that are developed as private or semi-private (from abutting or adjacent properties) courtyards, plazas or passive use areas containing landscaping and fencing sufficient to create a fully usable area accessible to all residents of the development (illustration below);



- iii. Private decks, balconies, and private ground floor open space, ~~and~~
  - iv. Other required landscaping and sensitive area buffers without common access links, such as pedestrian trails.
- 2. All buildings and developments with over thirty thousand (30,000) square feet of nonresidential uses (excludes parking garage floorplate areas) shall provide pedestrian-oriented space.
  - a. The pedestrian-oriented space shall be provided according to the following formula: 1% of the site area + 1% of the gross building area, at minimum.
  - b. The pedestrian-oriented space shall include all of the following:
    - i. Visual and pedestrian access (including barrier-free access) to the abutting structures from the public right-of-way or a nonvehicular courtyard; and
    - ii. Paved walking surfaces of either concrete or approved unit paving; and
    - iii. On-site or building-mounted lighting providing at least four (4) foot-candles (average) on the ground; and
    - iv. At least three lineal feet (3') of seating area (bench, ledge, etc.) or one individual

Attachment A

	<p>seat per sixty (60) square feet of plaza area or open space.</p> <p>c. The following areas shall not count as pedestrian-oriented space:</p> <ul style="list-style-type: none"> <li>i. The minimum required walkway. However, where walkways are widened or enhanced beyond minimum requirements, the area may count as pedestrian-oriented space if the Director determines such space meets the definition of pedestrian-oriented space.</li> <li>ii. Areas that abut landscaped parking lots, chain link fences, blank walls, and/or dumpsters or service areas.</li> </ul> <p>d. <u>Outdoor storage (shopping carts, potting soil bags, firewood, etc.)</u> <del>The following is prohibited within pedestrian-oriented space:</del></p> <ul style="list-style-type: none"> <li>i. <u>Outdoor storage (shopping carts, potting soil bags, firewood, etc.) that do not contribute to the pedestrian environment.</u></li> </ul>
District B	<p>The following is required:</p> <ol style="list-style-type: none"> <li>1. All attached housing developments shall provide at least one hundred fifty (150) square feet of private usable space per unit.             <ol style="list-style-type: none"> <li>a. At least one hundred (100) square feet of the private space shall abut each unit.</li> <li>b. Private space may include porches, balconies, yards, and decks.</li> </ol> </li> </ol>
All Districts	<p>All of the following is required:</p> <ol style="list-style-type: none"> <li>1. At each corner of the intersections listed below, a public plaza shall be provided.</li> <li>2. The plaza shall measure no less than one thousand (1,000) square feet with a minimum dimension of twenty feet (20') on one side abutting the sidewalk.</li> <li>3. The public plaza must be landscaped consistent with RMC 4-4-070, including at minimum street trees, decorative paving, pedestrian-scaled lighting, and seating.</li> <li>4. <del>These p</del>Public plazas are to be provided at intersections identified on the Commercial Arterial Zone Public Plaza Locations Map. Those locations are at all of the following intersections:             <ol style="list-style-type: none"> <li>a. Benson Area: Benson Drive S./108th Avenue S.E. and S.E. 176th.</li> <li>b. Bronson Area: Intersections with Bronson Way North at:                 <ol style="list-style-type: none"> <li>i. Factory Avenue N. / Houser Way S.;</li> <li>ii. Garden Avenue N.; and</li> <li>iii. Park Avenue N. and N. First Street.</li> </ol> </li> <li>c. Cascade Area: Intersection of 116th Avenue S.E. and S.E. 168th Street.</li> <li>d. Northeast Fourth Area: Intersections with N.E. Fourth at:                 <ol style="list-style-type: none"> <li>i. Duvall Avenue N.E.;</li> <li>ii. Monroe Avenue N.E.; and</li> <li>iii. Union Avenue N.E.</li> </ol> </li> <li>e. Grady Area: Intersections with Grady Way at:                 <ol style="list-style-type: none"> <li>i. Lind Avenue S.W.;</li> <li>ii. Rainier Avenue S.;</li> <li>iii. Shattuck Avenue S.; and</li> <li>iv. Talbot Road S.</li> </ol> </li> <li>f. Puget Area: Intersection of S. Puget Drive and Benson Road S.</li> <li>g. Rainier Avenue Area: Intersections with Rainier Avenue S. at:                 <ol style="list-style-type: none"> <li>i. Airport Way / Renton Avenue S.;</li> <li>ii. S. Second Street;</li> <li>iii. S. Third Street / S.W. Sunset Boulevard;</li> <li>iv. S. Fourth Street; and</li> </ol> </li> </ol> </li> </ol>

	<ul style="list-style-type: none"> <li>v. S. Seventh Street.</li> <li>h. North Renton Area: Intersections with Park Avenue N. at:             <ul style="list-style-type: none"> <li>i. N. Fourth Street; and</li> <li>ii. N. Fifth Street.</li> </ul> </li> <li>i. Northeast Sunset Area: Intersections with N.E. Sunset Boulevard at:             <ul style="list-style-type: none"> <li>i. Duvall Avenue N.E.; and</li> <li>ii. Union Avenue N.E.</li> </ul> </li> </ul>
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**5. Building Architectural Design**

Intent: To encourage building design that is unique and urban in character, comfortable on a human scale, and uses appropriate building materials that are suitable for the Pacific Northwest climate. To discourage franchise retail architecture.

<p><b>BUILDING CHARACTER AND MASSING:</b></p> <p><b>Intent:</b> To ensure that buildings are not bland and so that they appear to be at a human scale, as well as to ensure that all sides of a building, which can be seen by the public, are visually interesting.</p> <p><b>Guidelines:</b> Building facades <del>should shall</del> be modulated and/or articulated to reduce the apparent size of buildings, break up long blank walls, add visual interest, and enhance the character of the neighborhood. Articulation, modulation, and their intervals should create a sense of scale important to residential buildings. <del>Buildings greater than one hundred and sixty feet (160') in length should provide a variety of modulations and articulations to reduce the apparent bulk and scale of the façade(illustration below); or provide an additional special design feature such as a clock tower, courtyard, fountain, or public gathering.</del></p>	
<p><b>Standards:</b></p>	
<p>District A and D</p>	<p><del>All</del><u>Both</u> of the following are required:</p> <ol style="list-style-type: none"> <li>1. All building facades shall include modulation or articulation at intervals of no more than forty feet (40').</li> <li>2. Modulations shall be a minimum of two feet (2') deep, sixteen feet (16') in height, and eight feet (8') in width.</li> <li><del>2-3.</del> <u>Buildings greater than one hundred and sixty feet (160') in length shall provide a variety of modulations and articulations to reduce the apparent bulk and scale of the façade(illustration below); or provide an additional special design feature such as a clock tower, courtyard, fountain, or public gathering.</u></li> </ol>

	<p>MEETS GUIDELINES 160' Maximum facade length allowed</p> <p>DOES NOT MEET GUIDELINES More than 160' Facade is too long</p> <p>MEETS GUIDELINES 160' or less Meets guideline</p> <p>Courtyard or similar space sets</p> <p>160' or less Meets guideline</p>
<p>District B</p>	<p><u>AllBoth</u> of the following are required:</p> <ol style="list-style-type: none"> <li>1. All building facades shall include modulation or articulation at intervals of no more than twenty feet (20').</li> <li>2. Modulations shall be a minimum of two feet (2') in depth and four feet (4') in width.</li> <li>2-3. <u>Buildings greater than one hundred and sixty feet (160') in length shall provide a variety of modulations and articulations to reduce the apparent bulk and scale of the façade(illustration above); or provide an additional special design feature such as a clock tower, courtyard, fountain, or public gathering.</u></li> </ol>
<p>District C</p>	<p>All of the following are required:</p> <ol style="list-style-type: none"> <li>1. All building facades shall include measures to reduce the apparent scale of the building and add visual interest. Examples include modulation, articulation, defined entrances, and display windows (illustration below).</li> </ol> <p>INTERVAL INTERVAL</p> <ol style="list-style-type: none"> <li>2. All buildings shall be articulated with one or more of the following:             <ol style="list-style-type: none"> <li>a. Defined entry features;</li> <li>b. Bay windows and/or balconies;</li> </ol> </li> </ol>

- c. Roof line features; or
  - d. Other features as approved by the Director.
3. Single purpose residential buildings shall feature building modulation as follows (illustration below):
- a. The maximum width (as measured horizontally along the building's exterior) without building modulation shall be forty feet (40').
  - b. The minimum width of modulation shall be fifteen feet (15').
  - c. The minimum depth of modulation shall be the greater of six feet (6').



4. [Buildings greater than one hundred and sixty feet \(160'\) in length shall provide a variety of modulations and articulations to reduce the apparent bulk and scale of the façade\(illustration in District A and D section\); or provide an additional special design feature such as a clock tower, courtyard, fountain, or public gathering.](#)

## GROUND LEVEL DETAILS

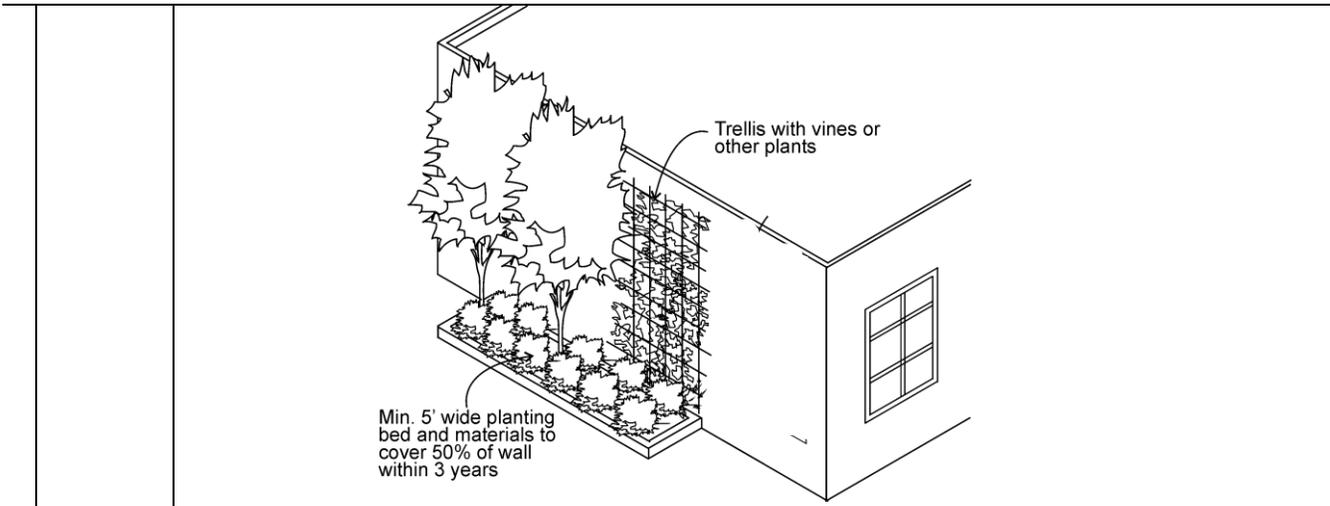
**Intent:** To ensure that buildings are visually interesting and reinforce the intended human-scale character of the pedestrian environment; and ensure that all sides of a building within near or distant public view have visual interest.

**Guidelines:** ~~The use of materials shall be varied, examples include~~ such as colors, brick, shingles, stucco, and horizontal wood siding. ~~is encouraged. The primary building entrance should be made visibly prominent by incorporating architectural features such as a facade overhang, trellis, large entry doors, and/or ornamental lighting (illustration below).~~ Detail features ~~should~~ **shall** also be ~~used~~ **provided**, to include things such as decorative entry paving, street furniture (benches, etc.), and/or public art. ~~Ground level portions of buildings shall be designed to convey openness to the public, they shall not be closed off with dark windows or no windows.~~

**Standards:**

<p>All Districts</p>	<p>All of the following are required:</p> <ol style="list-style-type: none"> <li>1. Human-scaled elements such as a lighting fixture, trellis, or other landscape feature shall be provided along the facade's ground floor.</li> <li>2. <del>On any facade visible to the public shall be comprised at least fifty percent (50%)</del> transparent windows and/or doors <del>for at least the portion of the ground floor facade that is between four feet (4') and eight feet (8') above ground (as measured on the true elevation).</del> <del>are required to comprise at least fifty percent (50%) of the portion of the ground floor facade that is between four feet (4') and eight feet (8') above ground (as measured on the true elevation).</del></li> <li>3. <del>Upper portions of B</del>building facades <del>must shall</del> have clear windows with visibility into and out of the building. However, screening may be applied to provide shade and energy efficiency. The minimum amount of light transmittance for windows shall be fifty percent (50%).</li> <li>4. Display windows shall be designed for frequent change of merchandise, rather than permanent displays.</li> <li>5. Where windows or storefronts occur, they must principally contain clear glazing.</li> </ol> <p>All of the following are prohibited:</p> <ol style="list-style-type: none"> <li>1. Tinted and dark glass, highly reflective (mirror-type) glass and film.</li> <li>2. Untreated blank walls visible from public streets, sidewalks, or interior pedestrian pathways.             <ol style="list-style-type: none"> <li>a. A wall (including building facades and retaining walls) is considered a blank wall if:                 <ol style="list-style-type: none"> <li>i. It is a ground floor wall or portion of a ground floor wall over six feet (6') in height, has a horizontal length greater than fifteen feet (15'), and does not include a window, door, building modulation or other architectural detailing; or</li> <li>ii. Any portion of a ground floor wall having a surface area of four hundred (400) square feet or greater and does not include a window, door, building modulation or other architectural detailing.</li> </ol> </li> <li>b. If blank walls are required or unavoidable, they shall be treated. The treatment shall be proportional to the wall and use one or more of the following: (illustration below):                 <ol style="list-style-type: none"> <li>i. A planting bed at least five feet (5') in width containing trees, shrubs, evergreen ground cover, or vines abutting the blank wall;</li> <li>ii. Trellis or other vine supports with evergreen climbing vines;</li> <li>iii. Architectural detailing such as reveals, contrasting materials, or other special detailing that meets the intent of this standard;</li> <li>iv. Artwork, such as bas-relief sculpture, mural, or similar; or</li> <li>v. Seating area with special paving and seasonal planting.</li> </ol> </li> </ol> </li> </ol>
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Attachment A



**BUILDING ROOF LINES**

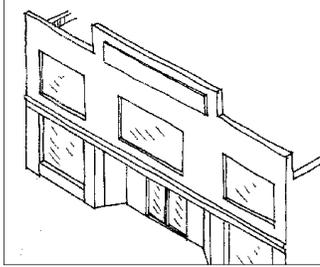
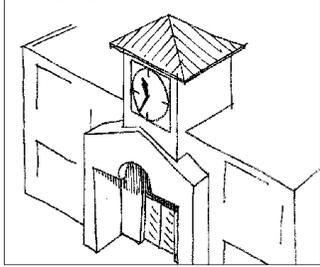
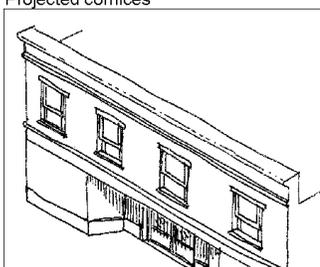
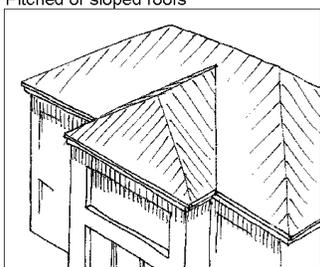
**Intent:** To ensure that roof forms provide distinctive profiles and interest consistent with an urban project and contribute to the visual continuity of the district.

**Guidelines:** Building roof lines ~~should~~ shall be varied and include architectural elements to add visual interest to the building. ~~Roofs should be dark in color. Roof mounted mechanical equipment should not be visible to pedestrians. Buildings containing predominantly residential uses should have pitched roofs with a minimum slope of one to four (1:4) and should have dormers or intersecting roof forms that break up the massiveness of an uninterrupted sloping roof.~~

**Standards:**

District A, C, and D	<p>The following is required:</p> <ol style="list-style-type: none"> <li>1. At least one of the following elements shall be used to create varied and interesting roof profiles (illustration below):             <ol style="list-style-type: none"> <li>a. Extended parapets;</li> <li>b. Feature elements projecting above parapets;</li> <li>c. Projected cornices;</li> <li>d. Pitched or sloped roofs.</li> </ol> </li> </ol>
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Attachment A

	<div style="display: flex; flex-wrap: wrap;"> <div style="width: 50%; text-align: center;"> <p>Extended parapets</p>  </div> <div style="width: 50%; text-align: center;"> <p>Feature elements projecting above parapets</p>  </div> <div style="width: 50%; text-align: center;"> <p>Projected cornices</p>  </div> <div style="width: 50%; text-align: center;"> <p>Pitched or sloped roofs</p>  </div> </div> <ol style="list-style-type: none"> <li><a href="#">2. Roofs shall be dark in color.</a></li> <li><a href="#">3. Roof mounted mechanical equipment shall not be visible to pedestrians.</a></li> <li><a href="#">4. Buildings containing predominantly residential uses shall have pitched roofs with a minimum slope of one to four (1:4) and shall have dormers or intersecting roof forms that break up the massiveness of an uninterrupted sloping roof.</a></li> </ol>
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**BUILDING MATERIALS**

**Intent:** To ensure high standards of quality and effective maintenance over time and encourage the use of materials that reduce the visual bulk of large buildings, as well as to encourage the use of materials that add visual interest to the neighborhood.

**Guidelines:** ~~Buildings should use of material variations such as colors, brick or metal banding or patterns, or textural changes. Building materials should be attractive, durable, and consistent with more traditional urban development, such as brick, integrally colored concrete masonry, pre-finished metal, stone, steel, glass, and cast in-place concrete. If concrete is used, walls should be enhanced by techniques such as, texturing, reveals, and/or coloring with a concrete coating or admixture. If concrete block walls are used, they should be enhanced with integral color, textured blocks and colored mortar, decorative bond pattern and/or incorporate other masonry materials. Building materials are an important and integral part of the architectural design of a building that is attractive and of high quality. Material variation shall be used to create visual appeal and eliminate monotony of facades and this shall occur on all facades in a consistent manner. High quality materials shall be used and if materials like concrete or block walls are used they shall be enhanced to create variation and enhance their visual appeal.~~

**Standards:**

<p>All Districts</p>	<p>All of the following are required:</p> <ol style="list-style-type: none"> <li>1. All sides of buildings visible from a street, pathway, parking area, or open space shall be finished with the same building materials, detailing, and color scheme.             <ol style="list-style-type: none"> <li>a. A different treatment may be used if the materials are of the same quality.</li> </ol> </li> <li><a href="#">2. All buildings shall use material variations such as colors, brick or metal banding, patterns, or textural changes.</a></li> <li><del>2.3.</del> <a href="#">3. Materials, individually or in combination, shall have texture, pattern, and be detailed on all visible facades.</a></li> </ol>
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	<p><u>4. Materials shall be durable, high quality, and consistent with more traditional urban development, such as brick, integrally colored concrete masonry, pre-finished metal, stone, steel, glass, and cast-in-place concrete, reasonably maintained.</u></p> <p><u>5. If concrete is used, walls shall be enhanced by techniques such as, texturing, reveals, and/or coloring with a concrete coating or admixture.</u></p> <p><u>3-6. If concrete block walls are used, they shall be enhanced with integral color, textured blocks and colored mortar, decorative bond pattern and/or incorporate other masonry materials.</u></p>
<p>Districts A, C, and D</p>	<p>The following is required:</p> <p><del>1. All buildings shall use material variations such as colors, brick or metal banding, patterns, or textural changes.</del></p>

**6. Signage**

Intent: To provide a means of identifying and advertising businesses; provide directional assistance; encourage signs that are both clear and of appropriate scale for the project; encourage quality signage that contributes to the character of the City; and create color and interest.

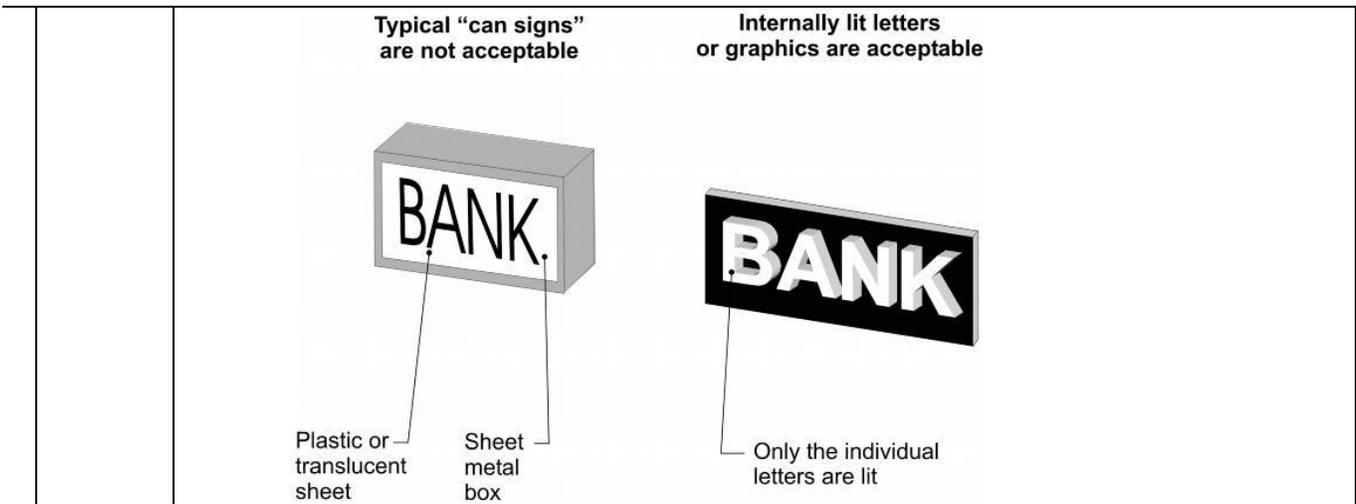
**SIGNAGE**

**Intent:** To provide a means of identifying and advertising businesses; provide directional assistance; encourage signs that are both clear and of appropriate scale for the project; encourage quality signage that contributes to the character of the City; and create color and interest.

**Guidelines:** Front-lit, ground-mounted monument signs are the preferred type of freestanding sign. Blade type signs, proportional to the building facade on which they are mounted, are encouraged. ~~on pedestrian-oriented streets.~~ Alteration of trademarks notwithstanding, corporate signage should not be garish in color nor overly lit, although creative design, strong accent colors, and interesting surface materials and lighting techniques are encouraged.

**Standards:**

<p>District C and D</p>	<p>All of the following are required:</p> <ol style="list-style-type: none"> <li>1. Signage shall be an integral part of the design approach to the building.</li> <li>2. Entry signs shall be limited to the name of the larger development.</li> <li>3. Corporate logos and signs shall be sized appropriately for their location.</li> <li>4. In mixed use and multi-use buildings, signage shall be coordinated with the overall building design.</li> <li>5. Freestanding ground-related monument signs, with the exception of primary entry signs, shall be limited to five feet (5') above finished grade, including support structure. All such signs shall include decorative landscaping (ground cover and/or shrubs) to provide seasonal interest in the area surrounding the sign. Alternately, signage may incorporate stone, brick, or other decorative materials as approved by the Director.</li> </ol> <p>All of the following are prohibited:</p> <ol style="list-style-type: none"> <li>1. Pole signs.</li> <li>2. Roof signs.</li> <li>3. Back-lit signs with letters or graphics on a plastic sheet (can signs or illuminated cabinet signs). <u>Exceptions:</u> Back-lit logo signs less than ten (10) square feet are permitted as are signs with only the individual letters back-lit (illustration below).</li> </ol>
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**7. Lighting**

Intent: To ensure safety and security; provide adequate lighting levels in pedestrian areas such as plazas, pedestrian walkways, parking areas, building entries, and other public places; and increase the visual attractiveness of the area at all times of the day and night.

**LIGHTING**

**Intent:** To ensure safety and security; provide adequate lighting levels in pedestrian areas such as plazas, pedestrian walkways, parking areas, building entries, and other public places; and increase the visual attractiveness of the area at all times of the day and night.

**Guidelines:** ~~Accent lighting should be provided at focal points such as gateways, public art, and significant landscape features such as specimen trees. Additional lighting to provide interest in the pedestrian environment may include sconces on building facades, awnings with down-lighting, decorative street lighting, etc. Lighting that improves pedestrian safety and also that creates visual interest in the building and site during the evening hours shall be provided.~~

**Standards:**

District A, C, and D	Both of the following are required: <ol style="list-style-type: none"> <li>1. Pedestrian-scale lighting shall be provided at primary and secondary building entrances. <u>Examples include sconces on building facades, awnings with down-lighting, and decorative street lighting.</u></li> <li>2. <u>Accent lighting</u> shall also be provided on building facades (such as sconces) and/or to illuminate other key elements of the site such as <u>gateways</u>, specimen trees, other significant landscaping, water features, and/or artwork.</li> </ol>
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